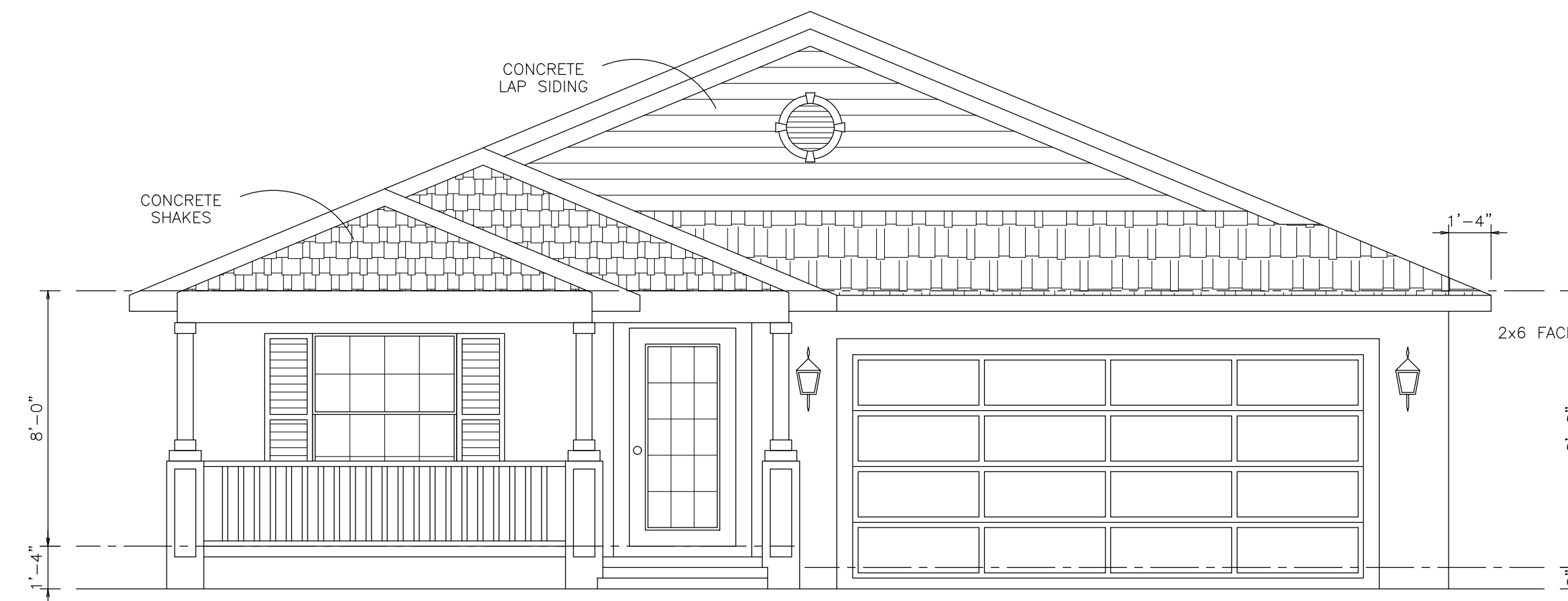
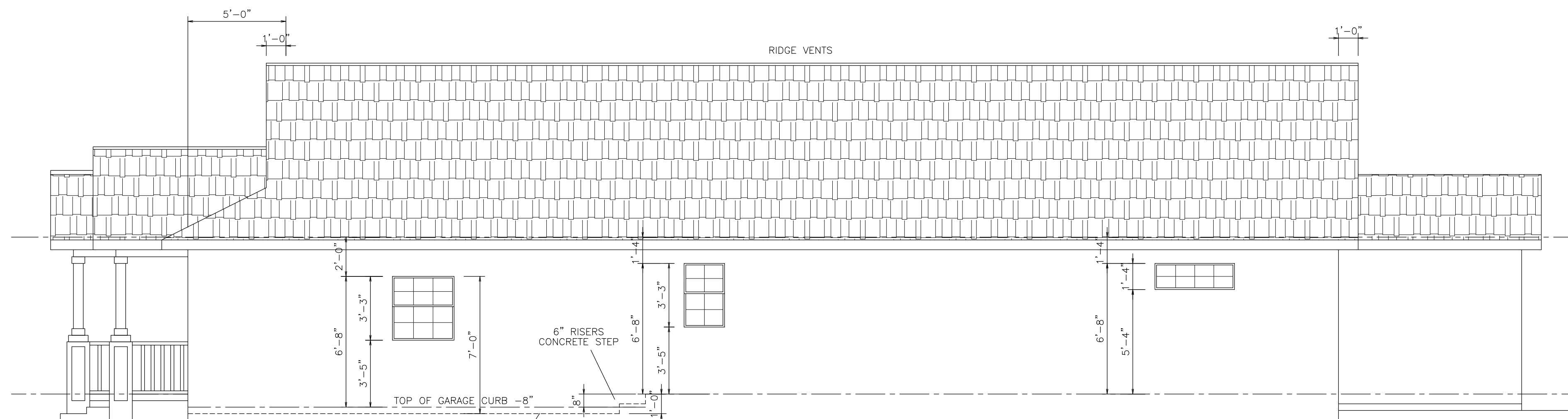


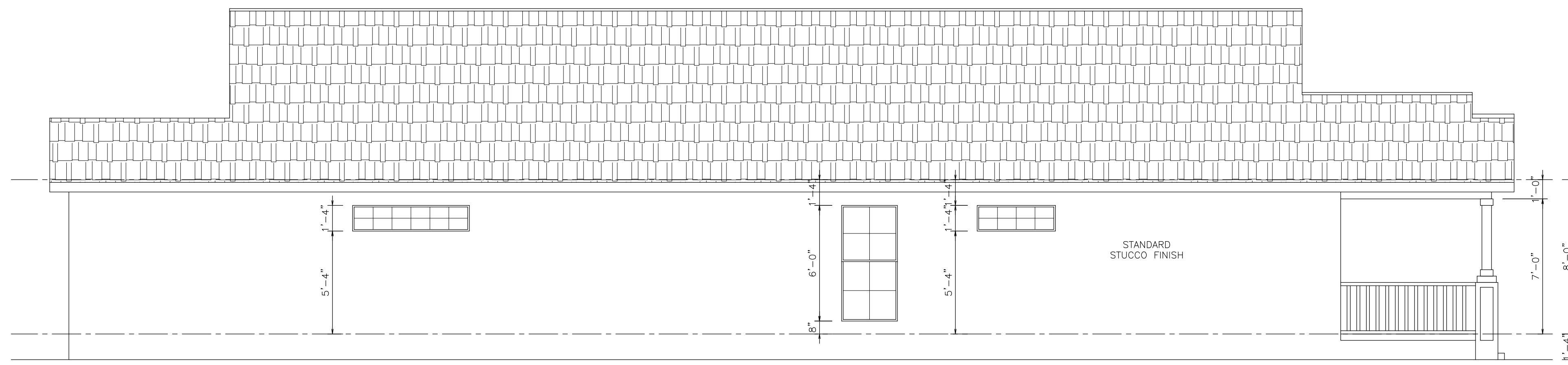
REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

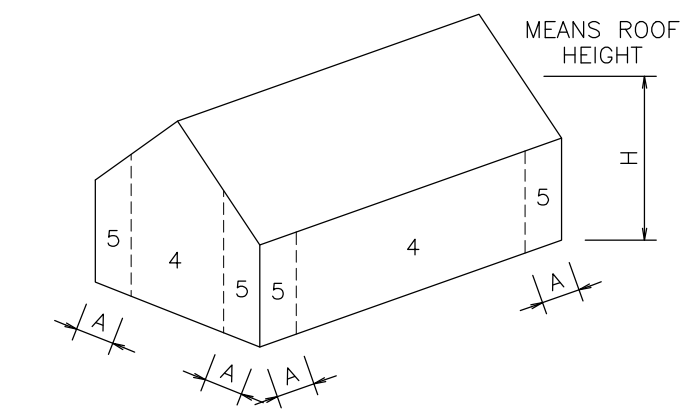


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ROOF VENTILATION
THE 1/300th RULE EQUATED TO 1 sq.ft. OF ATTIC VENTILATION FOR EVERY 300 sq.ft. OF ATTIC FLOOR SPACE AND THEN SPLIT THE VENTILATION # BETWEEN THE SOFFITS AND RIDGE OR HIGH LOW APPLICATIONS WHERE SOFFIT VENTS ARE ELIMINATED

METAL ROOF =	1' OF RIDGE VENT =	75 sq.ft. OF ATTIC FLOOR SPACE
SHINGLE ROOF =	1' OF RIDGE VENT =	75 sq.ft. OF ATTIC FLOOR SPACE
SHINGLE ROOF =	4' OFF RIDGE VENT =	1000 sq.ft. OF ATTIC FLOOR SPACE
TILE ROOF =	"S" VENT =	406 sq.ft. OF ATTIC FLOOR SPACE
TILE ROOF =	FLAT VENT =	411 sq.ft. OF ATTIC FLOOR SPACE
SOFFIT =	1' sq.ft. OF VENT =	102 sq.ft. OF ATTIC FLOOR SPACE

EXAMPLE:
ATTIC FLOOR SPACE = 3000 sq.ft.
1' OF RIDGE VENT = 75 sq.ft.
TOTAL RIDGE VENT = 40 feet



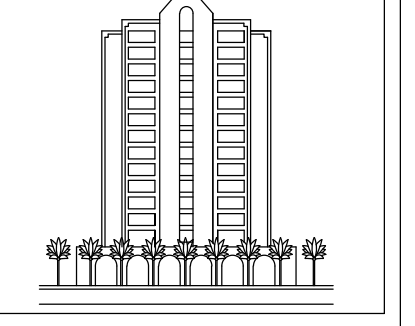
COMPONENTS AND CLADDING
WALLS
Structures less than or equal to 60 ft

COMPONENT PRESSURES:

AREA	PRESSURE (psf)
4	MAX = 25.45
4	MIN = -27.61
5	MAX = 25.45
5	MIN = -34.08

Dimension α = 3.00 ft

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PRESIDENT
386-290-6513

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KEYSTONEHOMESFL.COM

OFFICE - ORMOND BEACH, FLA.
1339 W. Granada Blvd.
386-672-6101

SPEC HOUSE 2148 S FLAGLER AV

JOB NUMBER
2899
SUNSTATE
PLAN DATE
5/21/19

"PLANS CONFORM TO"
2017 FLORIDA BUILDING CODE
2014 NATIONAL ELEC CODE
2015 WFCM DESIGN CRITERIA
2014 ASCE24 FLOOD DESIGN
STRUCTURALLY ADEQUATE FOR
ALTERATION LEVEL N/A
RISK CATEGORY: 2
WIND VELOCITY (MPH): 140
EXPOSURE CATEGORY: C
INTERNAL PRESSURE: .18
CONSTRUCTION TYPE: VB

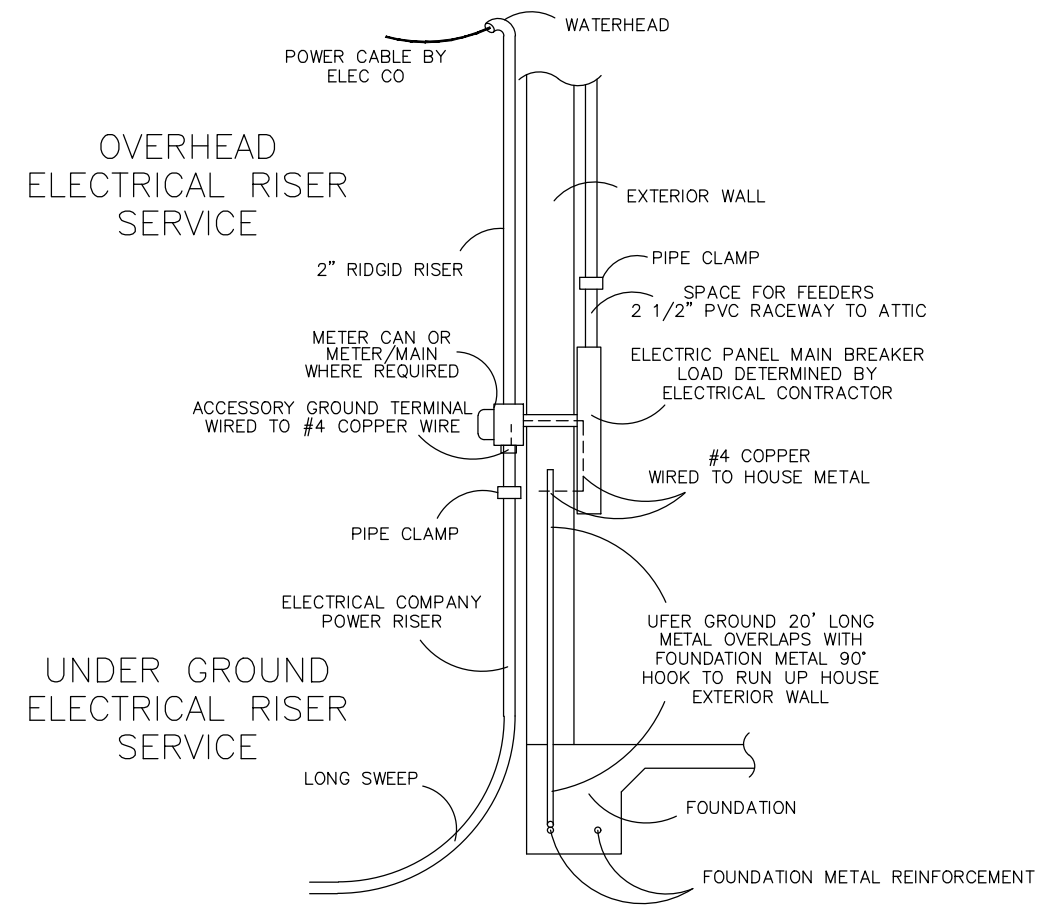
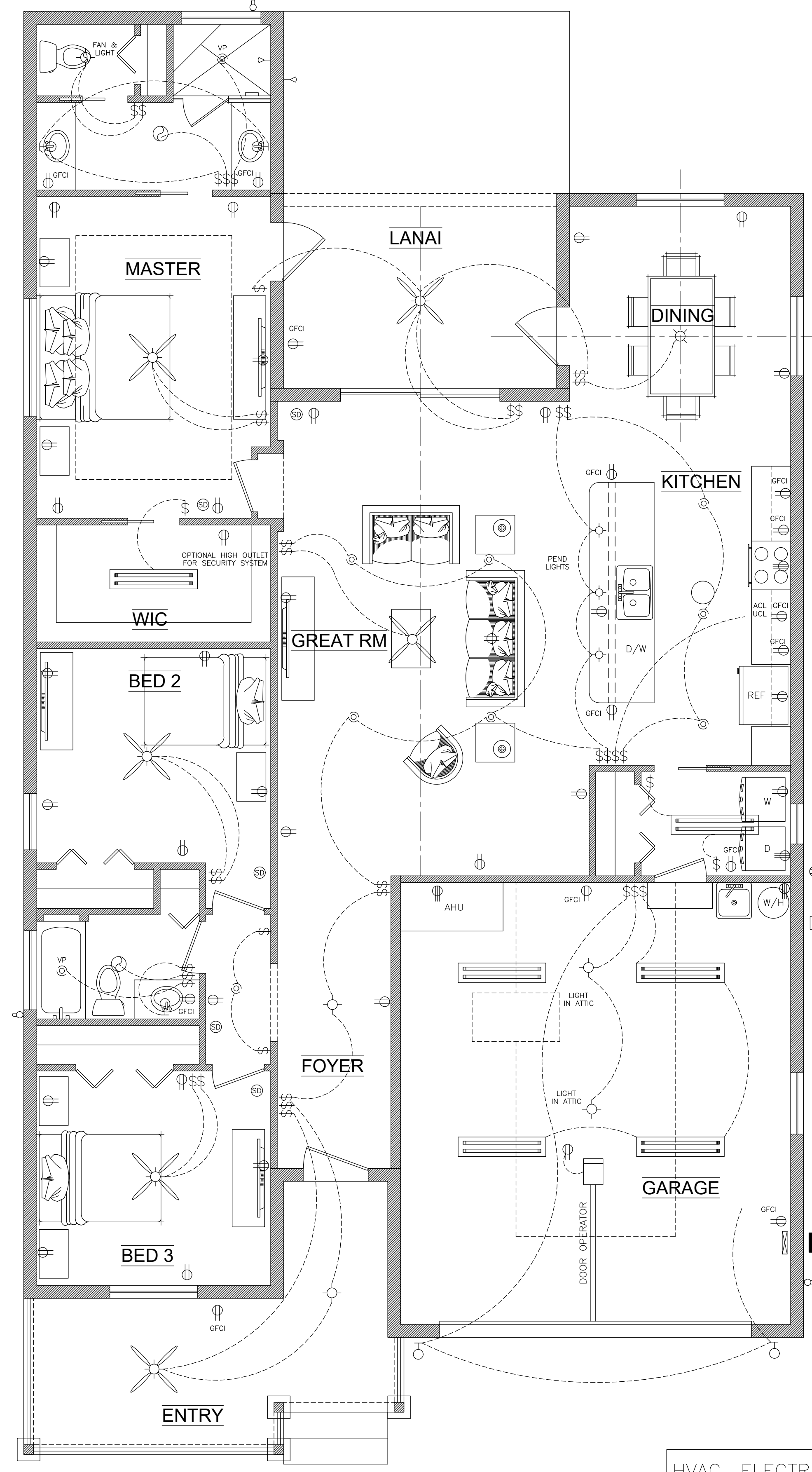
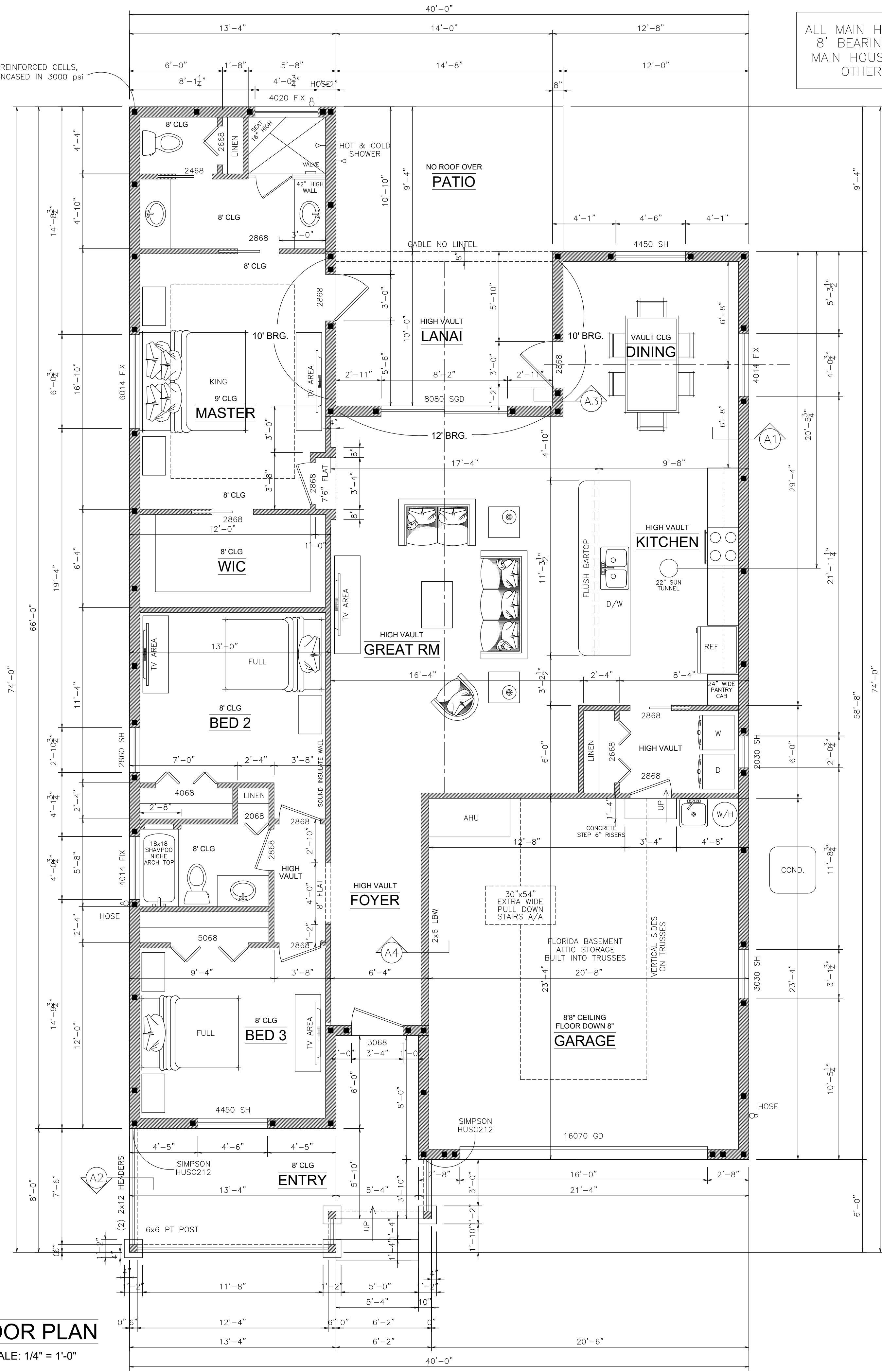
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FLAGLER COUNTY, FLA.

ELEVATIONS

SHEET
1

VERTICALLY-REINFORCED CELLS,
#5 REBAR ENCASED IN 3000 PSI
PUMP MIX.

ALL MAIN HOUSE WALLS ARE
8' BEARING (BRG) ABOVE
MAIN HOUSE SLAB UNLESS
OTHERWISE NOTED



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FLOOR PLAN

SHEET

2

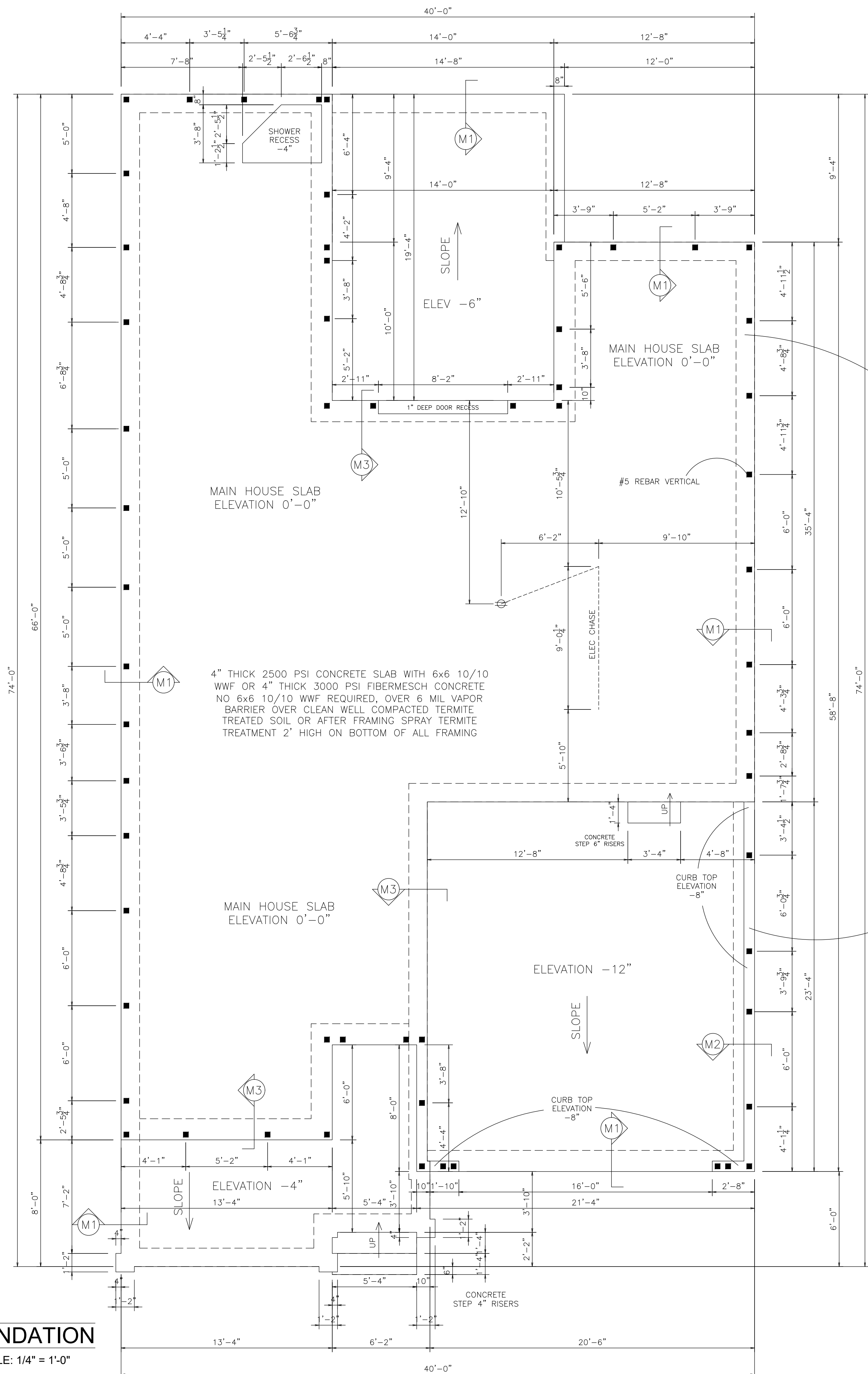
FLOOR PLAN
SCALE: 1/4" = 1'-0"

LIVING	1774 sf
LANAI	140 sf
GARAGE	487 sf
ENTRY	173 sf
TOTAL	2574 sf

ELECTRICAL
SCALE: 1/4" = 1'-0"

HVAC, ELECTRICAL & SMOKE DETECTOR NOTES:

- HOUSE TO BE WIRED PER FBC E3902.16, ALL OUTLETS ARE TO BE TAMPER RESISTANT, 110 OUTLETS NOT GFCI ARE AFCI PROTECTED, ALL INSIDE GFCI ALSO AFCI PROTECTED
- AHU IN ATTIC SHALL HAVE A MEANS OF DISCONNECTING ALL UNDERGROUND SUPPLY CONDUCTORS IN ACCORDANCE TO TABLE E4101.5
- KITCHEN DISHWASHER BRANCH-GROUND FAULT CIRCUIT-INTERRUPTER PROTECTED
- SMOKE DETECTOR LOCATIONS, 1 INSIDE & 1 OUTSIDE ALL BEDROOMS, ONE EACH HABITABLE FLOOR, NOT LESS THAN 3" FROM BATHROOM & 20" FROM FIXED COOKING APPLIANCES
- SMOKE DETECTOR'S OUTSIDE OF BEDROOMS ARE TO BE COMBINATION SMOKE/CARBON MONOXIDE DETECTORS, SMOKE ALARMS SHALL BE INTERCONNECTED
- PLANS SHALL COMPLY WITH SECTION 6.05.05 OF THE FLAGLER COUNTY CODE, LIGHTING STANDARDS IN REFERENCE TO SEA TURTLES.



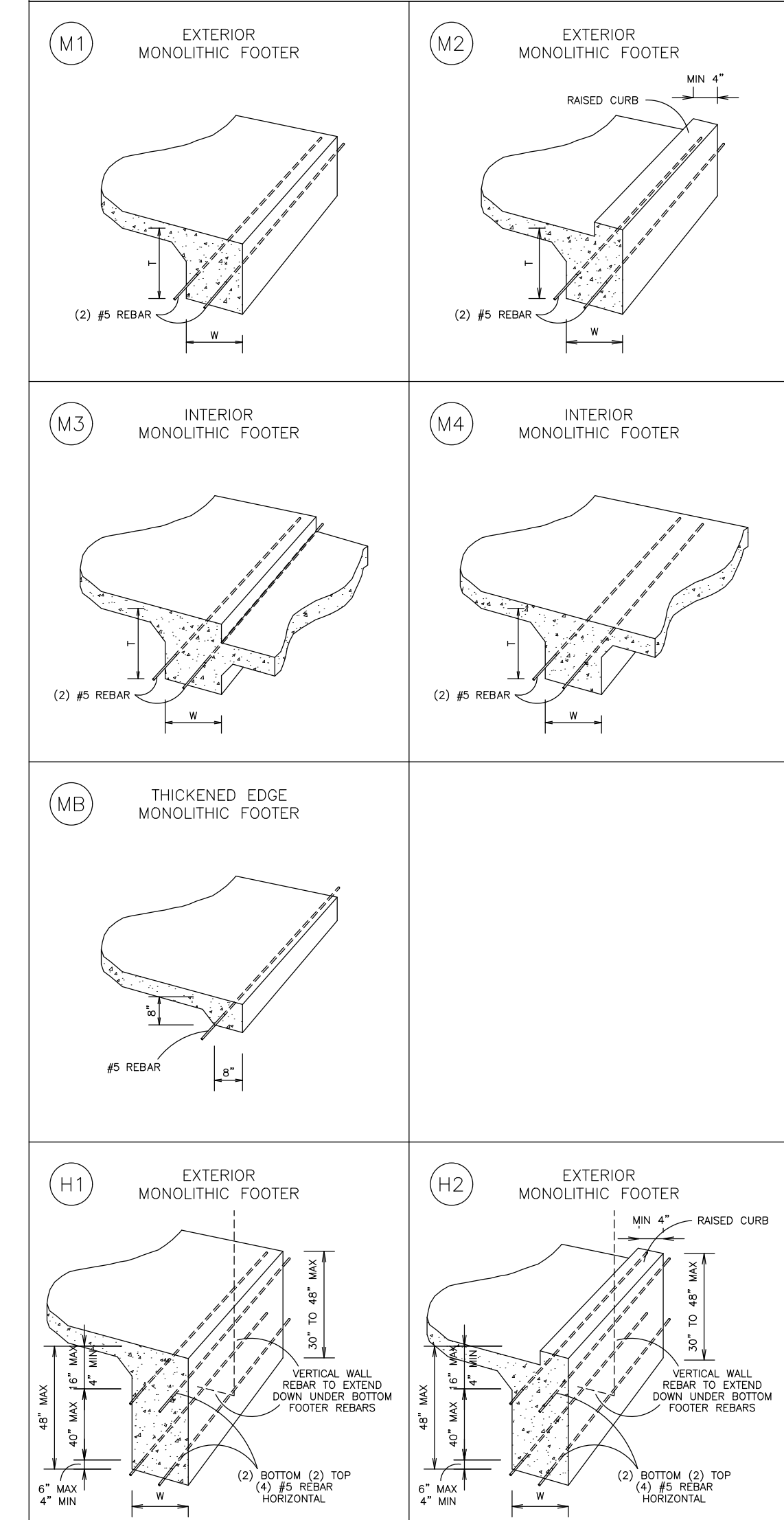
FOUNDATION

SCALE: 1/4" = 1'-0"

KEYSTONE HOMES MIN. FOOTER SIZES

MONOLITHIC FRAME 1 STORY	(T) THICKNESS 20"	(W) WIDTH 16"
MONOLITHIC FRAME 2 STORY	(T) THICKNESS 20"	(W) WIDTH 16"
MONOLITHIC FRAME 3 STORY	(T) THICKNESS 20"	(W) WIDTH 24"
MONOLITHIC MASONRY 1 STORY	(T) THICKNESS 20"	(W) WIDTH 16"
MONOLITHIC MASONRY 2 STORY	(T) THICKNESS 20"	(W) WIDTH 22"
MONOLITHIC MASONRY 3 STORY	(T) THICKNESS 20"	(W) WIDTH 30"
STEM WALL FRAME 1, 2 & 3 STORY	(T) THICKNESS 10"	(W) WIDTH 20"
STEM WALL MASONRY 1 STORY	(T) THICKNESS 10"	(W) WIDTH 20"
STEM WALL MASONRY 2 STORY	(T) THICKNESS 10"	(W) WIDTH 24"
STEM WALL MASONRY 3 STORY	(T) THICKNESS 10"	(W) WIDTH 30"

- BOTTOM OF ALL FOOTERS 12" BELOW GRADE BELOW THE FROST LINE, TOP OF ALL SLABS 8" ABOVE GRADE, 20" MIN MONOLITHIC FOOTER HEIGHT
- FOUNDATION VERT REBAR ARE FOR MASONRY WALLS ABOVE, STEM WALL VERT REBAR AT ALL CORNERS AND 48" O.C. MAX SPACE THRU WALL SECTIONS
- EXPOSED SIDE OF MASONRY STEM WALL 5' MAX ABOVE GRADE
- MONOLITHIC FOOTERS WITH (2) #5 REBAR MAX HEIGHT 30"
- DETAIL M1 CAN BE REPLACED WITH H1, M2 CAN BE REPLACED WITH H2, MA CAN BE REPLACED WITH HA WHERE MONOLITHIC FOOTERS HIGHER THAN 30" ARE REQUIRED



- TRUSS NOTES:**
- DO NOT START TRUSS DESIGN UNLESS TRUSS COMPANY ACCEPTS ALL TRUSS NOTES
 - TRUSS LOAD BEARING WALLS AND HEIGHTS ARE NOTED ON THE PLAN, PLEASE DO NOT ADD OR CHANGE LOAD BEARING WALLS WITHOUT INFORMING THE DESIGNER OF RECORD THE CHANGE, NEVER EXPECT CHANGES TO BE FOUND ON THE TRUSS LAYOUT
 - ALL AREAS OF FLOOR AND ROOF TRUSS SYSTEM ARE TO BE PROVIDED BY TRUSS COMPANY, NO AREAS ARE TO BE PROVIDED BY OTHERS
 - NEVER USE LEDGER BOARDS ON ANY INTERIOR FRAME LOAD BEARING WALLS AND LEDGER BOARDS CAN ONLY BE USED ON MASONRY WALLS WITH HORIZONTAL CONCRETE BOND BEAMS SAME HEIGHT AS LEDGER BOARD
 - PROVIDE MIN 22.5" WIDE SPACE ABOVE AIR HANDLERS FOR DUCT SPACE
 - INTERIOR GIRDER TRUSSES TRY TO NOT LOCATE THEM OVER INTERIOR DOORS SO WE ARE ABLE TO ADD STRUCTURAL POST UNDER THE GIRDER TRUSS
 - FLOOR TRUSSES 6" STEP DOWN TO SEALED BALCONY FLOOR TRUSSES
 - BALCONY OVER ANY AREA BELOW IS A ROOF AND BY CODE MUST HAVE MIN 1/2" IN 12" SLOPE TO ALL OUTER EDGES OF THE BALCONY FROM WALLS AND CENTER OF BALCONY TRUSS COMPANY DELIVERS AND BREAKS TRUSSES THEY MUST REPAIR THE TRUSSES THEY DAMAGED WITH THE PROPER TRUSS ENGINEERING
 - LAMINATE BEAMS CALLED OUT ON PLANS ARE TO BE PROVIDED BY TRUSS CO, THANKS

- PLUMBING SIZE & NOTES:**
- MAIN DRAIN LINE 4" TO SEWER, 3" ALL OTHER THAN SEWER UNLESS OTHERWISE NOTED
DRAIN LINE 3" FOR WATER CLOSETS (W/C), 2" FOR TUBS & SHOWERS, 2" FOR LAV/SINK
BRANCH ARMS & P-TRAPS, 2" WASH MACHINES & P-TRAPS, 1 1/2" KITCHEN SINK,
AIR ADMITTANCE VALVE PIPING & P-TRAPS
VENT PIPE 2" UNLESS OTHERWISE NOTED
- R322.1.7 - SANITARY SEWAGE SYSTEMS SHALL BE DESIGNED TO MINIMIZE OR ELIMINATE INFILTRATION OF FLOODWATERS INTO SYSTEMS AND DISCHARGES FROM SYSTEMS INTO FLOODWATERS.

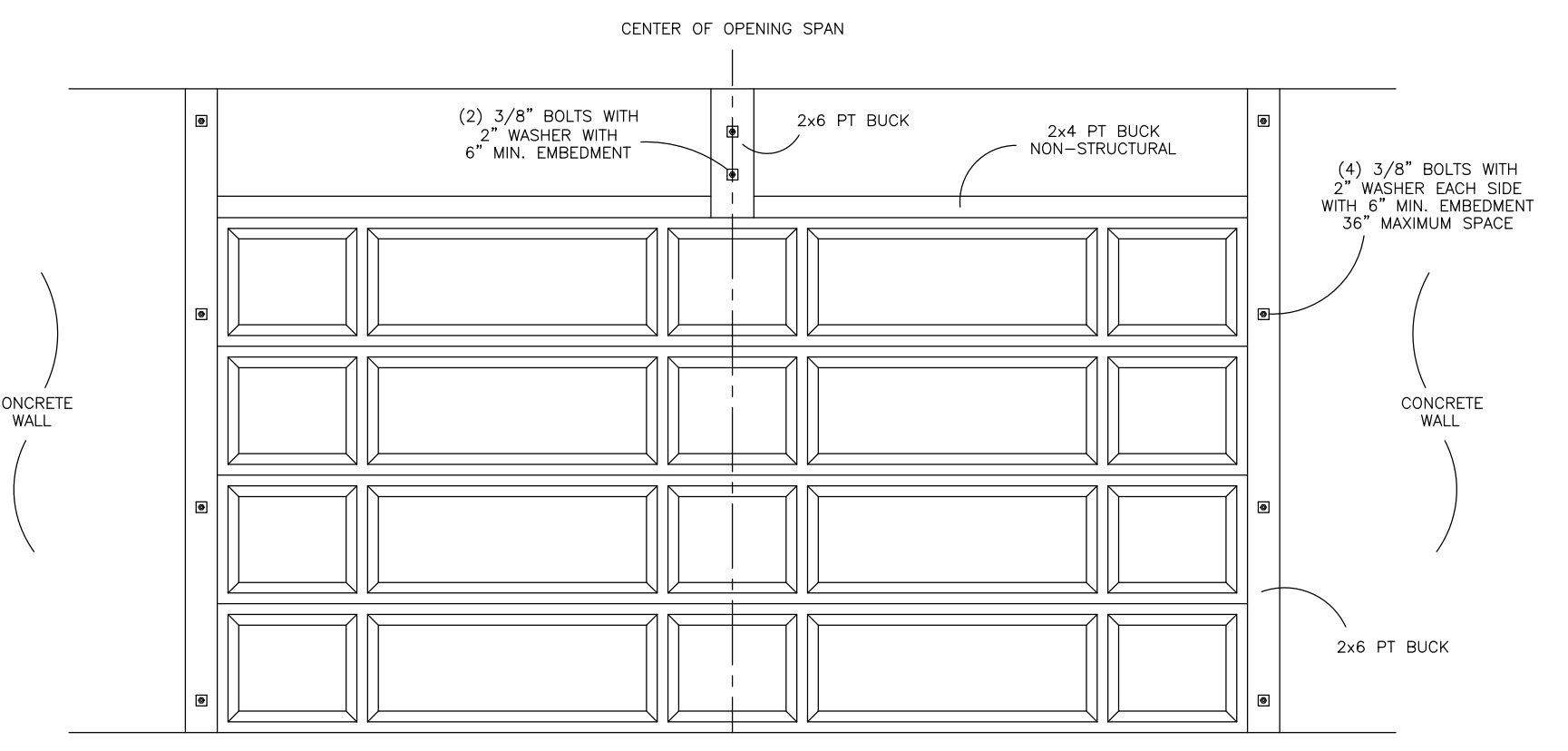
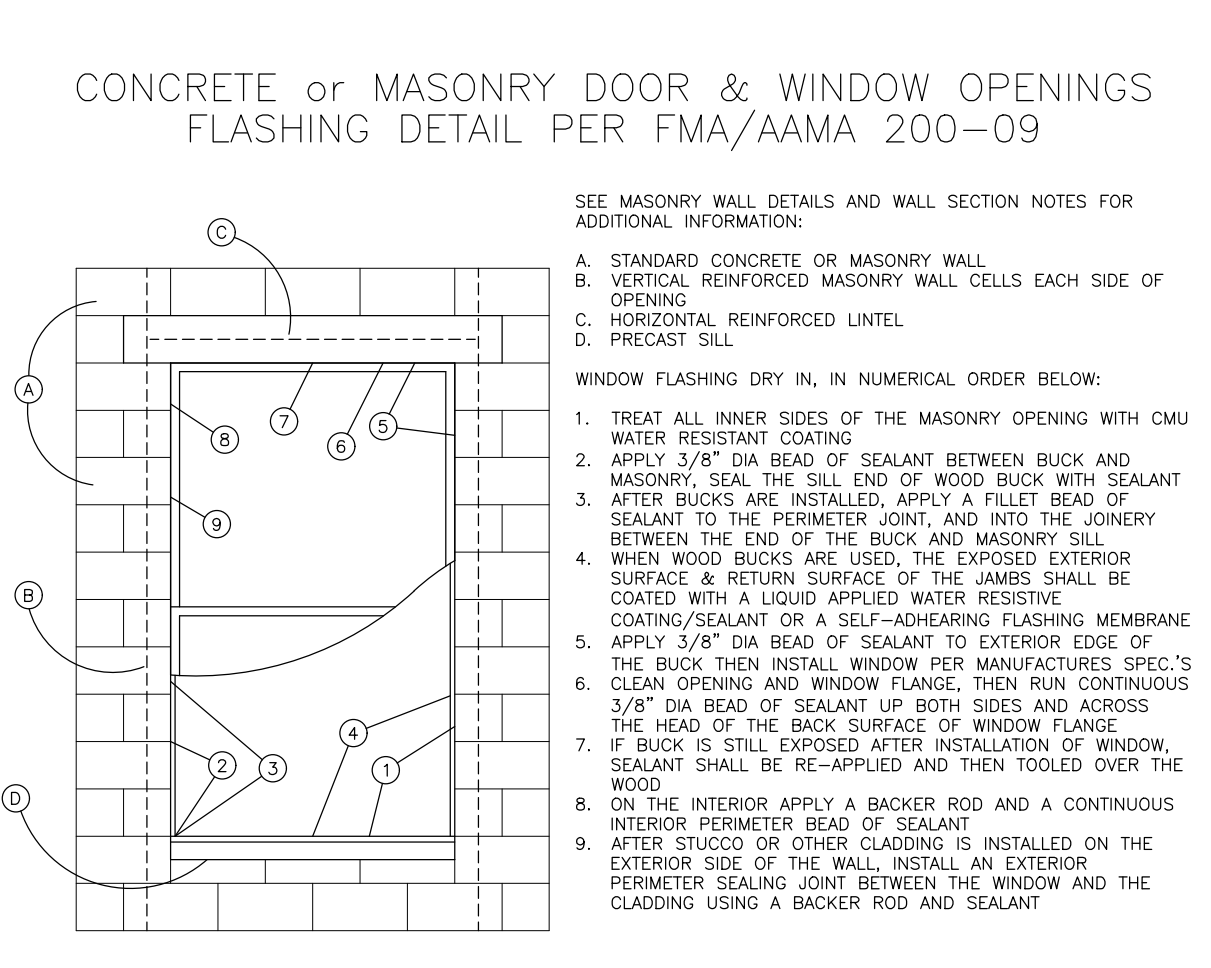
- EXTERIOR OPENING NOTES:**
- EXTERIOR OPENING CONTRACTOR IS TO VERIFY ROUGH OPENING SIZES
 - ALL BEDROOMS MUST HAVE MINIMUM ONE EGRESS OPENING, MINIMUM 20" WIDE, MINIMUM 24" HIGH AND MINIMUM 5.7 SQUARE FOOT OVERALL OPENING.
 - OPERABLE WINDOW OPENINGS LOCATED MORE THAN 72" ABOVE SURFACE BELOW, WITH THE LOWEST PART OF THE CLEAR OPENING LESS THAN 24" ABOVE THE FINISH FLOOR ARE TO HAVE A RE-SETTABLE CHILD SAFETY LATCH / OPENING LIMITING DEVICE THAT COMPLIES WITH FBC R312.2.2
 - THE SUPPLIER WILL PROVIDE PROOF THE WINDOW AND DOOR MEET THE FLORIDA CODE R308.4 GLAZING IN HAZARDOUS LOCATIONS

GARAGE PENETRATION & SEPARATION

R302.5.1 OPENING PROTECTION: OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED, OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.

R302.5.2 DUCT PENETRATION: DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE (0.48 MM) SHEET STEEL, 1 INCH MINIMUM RIGID NONMETALLIC CLASS 0 OR CLASS 1 DUCT BOARD, OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

SEPARATION	MATERIAL
FROM THE RESIDENCE AND ATTICS	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
FROM ALL HABITABLE ROOMS ABOVE THE GARAGE	NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT



GARAGE DOOR BUCK AND CONNECTOR DETAIL
(APPLIES ONLY TO BUCK INSTALLATION; REFER TO SEPARATE ENGINEERING DOCUMENTATION FOR DOOR LOADING)

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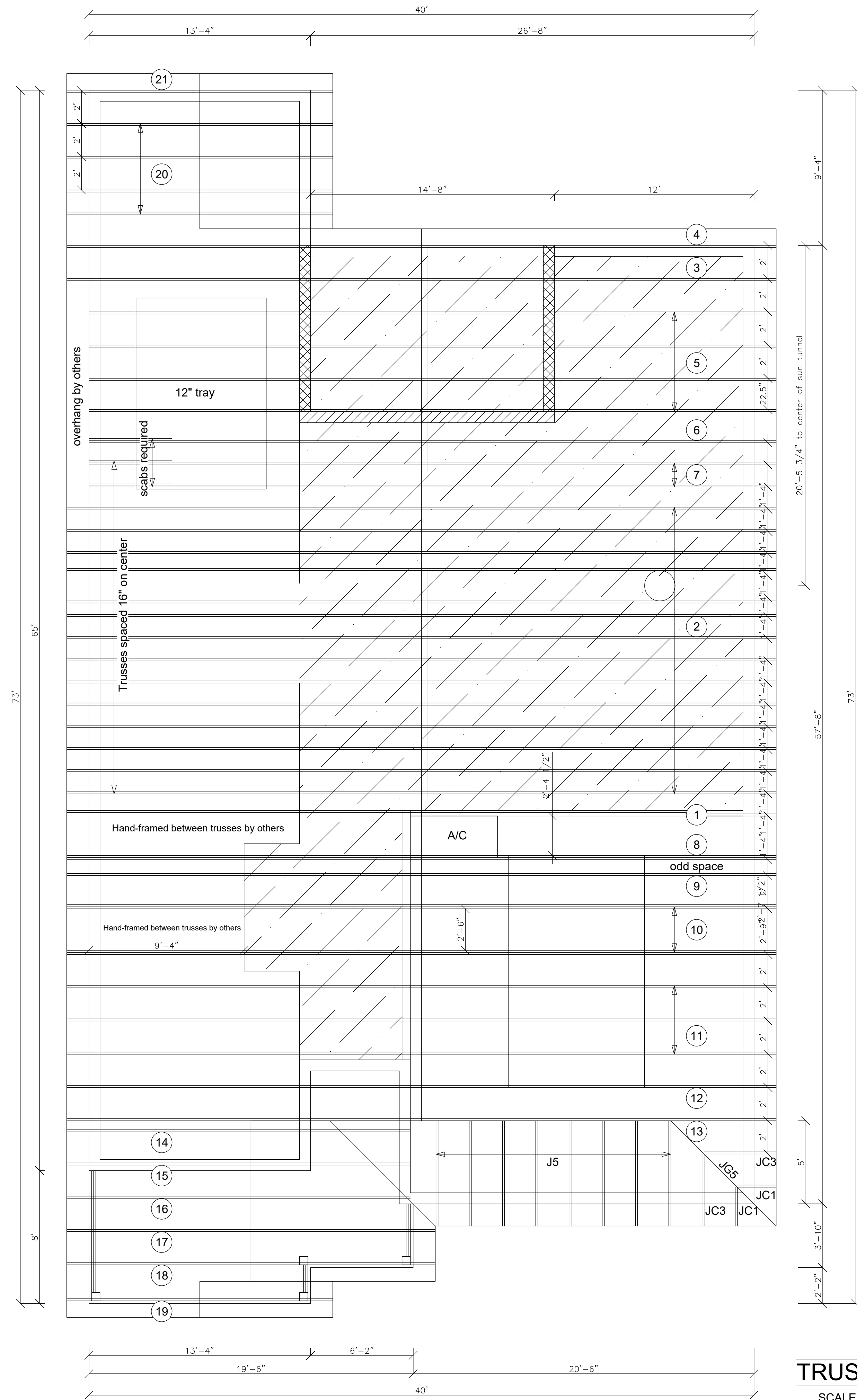
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FLAGLER COUNTY, FLA.

FOUNDATION

SHEET
3

ALL SIMPSON "MTS" STRAPS ONLY REQUIRE (14) 10d x 1 1/2" NAILS



TRUSS PLAN
SCALE: 1/4" = 1'-0"


ALL SIMPSON MTS ONLY 14 NAILS REQUIRED

MODEL NO	2x POST/ TRUSS PLY	ANCHOR BOLTS	FASTENERS	UPLIFT
MTS12	1 PLY MIN.	-	(14)10d x 1/2"	860
MTS16	1 PLY MIN.	-	(14)10d x 1/2"	860
MTS18	1 PLY MIN.	-	(14)10d x 1/2"	860
MTS20	1 PLY MIN.	-	(14)10d x 1/2"	860
MTS30	1 PLY MIN.	-	(14)10d x 1/2"	860
MTS24C	1 PLY MIN.	-	(14)10d x 1/2"	860
MTS30C	1 PLY MIN.	-	(14)10d x 1/2"	860

SIMPSON CATALOG 2017-2018 SPF FRAME WALLS TO SP TRUSSES CMU/CONCRETE WALLS TO SP TRUSSES

MODEL NO	2x POST/ TRUSS PLY	ANCHOR BOLTS	FASTENERS	UPLIFT
CS14-16	2 PLY MIN.	-	(30)10d x 3"	2490
H2.5T	1 PLY MIN.	-	(10)8d x 1 1/2"	425
HETA16	1 PLY MIN.	-	(9)10d x 1 1/2"	1810
(2)HETA	1 PLY MIN.	-	(10)10d x 1 1/2"	2035
(2)HETA	2 PLY MIN.	-	(12)16d x 3 1/2"	2500
HTT4	2 PLY MIN.	(1)5/8"x7" BOLT	(18)16d x 2 1/2"	3640
(2)HTT4	3 PLY MIN.	(2)5/8"x7" BOLTS	(36)16d x 2 1/2"	7280
HTT5	2 PLY MIN.	(1)5/8"x7" BOLT	(26)16d x 2 1/2"	4375
(2)HTT5	3 PLY MIN.	(2)5/8"x7" BOLTS	(36)16d x 2 1/2"	8750
LSTA21	2 PLY MIN.	-	(16)10d x 3"	1235
LSTA30	2 PLY MIN.	-	(22)10d x 3"	1640
ST6224	2 PLY MIN.	-	(28)10d x 3"	2540
LTT20B	2 PLY MIN.	(1)1/2"x6" BOLT	(10)10d x 3"	1290
(2)LTT20B	3 PLY MIN.	(2)1/2"x6" BOLT	(20)10d x 3"	2580
MGT	2 PLY MIN.	(1)5/8"x6" BOLT	(22)10d x 3"	3965
HGT-2	2 PLY ONLY	(2)3/4"x6" BOLT	(16)10d x 3"	10980
HGT-3	3 PLY ONLY	(2)3/4"x6" BOLT	(16)10d x 3"	10530
HGT-4	4 PLY ONLY	(2)3/4"x6" BOLT	(16)10d x 3"	9250
HRD011-SDS2.5	2 PLY MIN.	(1)1"x7" BOLT	(24) 1/4"x2 1/2" SD SCREWS	11810
MTS16	1 PLY MIN.	-	(14)10d x 1 1/2"	860
MTSM16	1 PLY MIN.	(4)1/4"x2 1/4" TAPCONS	(7)10d x 1 1/2"	875
HTS20	1 PLY MIN.	-	(24)10d x 1 1/2"	1245
HTSM16	1 PLY MIN.	(4)1/4"x2 1/4" TAPCONS	(8)10d x 1 1/2"	1175
SP1	1 PLY MIN.	-	(10)10d x 3"	585
SP2	1 PLY MIN.	-	(12)10d x 3"	605

ALL TRUSSES TO MASONRY WALLS ARE TO HAVE (1) HETA16 MIN UNLESS OTHERWISE NOTED
 ALL TRUSSES TO FRAME WALLS ARE TO HAVE (1) MTS12 MIN UNLESS OTHERWISE NOTED
 ALL CONNECTORS CAN BE REPLACED WITH A SUITABLE CONNECTOR



Truss Layout for:
Keystone Homes
 2148 S. Flagler Avenue PC
 Spec House

Job # 1905042 Date: 05/29/19 Drawn by: Bob
 Job # 0000

DATE: REVISION:

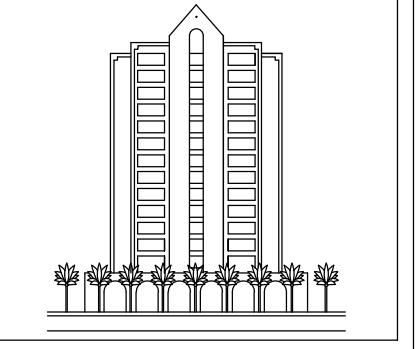
ANY PARTY WHO CUTS OR DAMAGES A TRUSS WITHOUT THE APPROVAL OF THE SALESMAN OR TRUSS COMPANY SHALL BE RESPONSIBLE FOR THE COST OF THE ENGINEERING DESIGNS AND REPAIRS.

FOR ERECTION AND INSTALLATION (TEMPORARY AND PERMANENT) FOLLOW INSTRUCTIONS ON THIS SUMMARY SHEETS AND ENGINEERING SHEETS FOR EACH TRUSS.

*** ENCLOSED ***
 *** EXPOSURE - C ***
 *** VALLEYS BY BUILDER ***

TYPICAL ROOF DETAIL
 6/12 pitch, 24" spacing, 37# (shingles)
 8" bays, 24" overhang, 140 mph windload
 *** ENCLOSED ***

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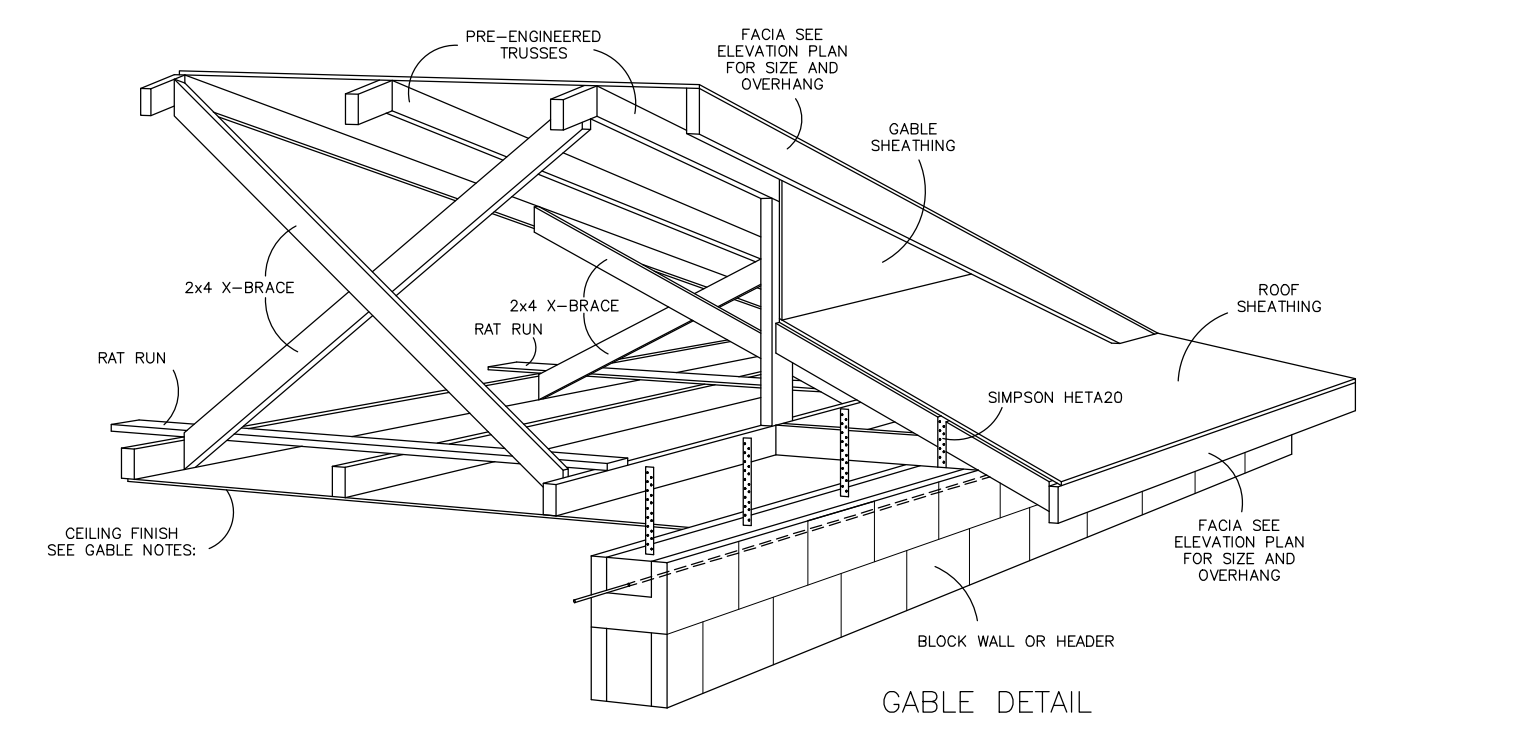
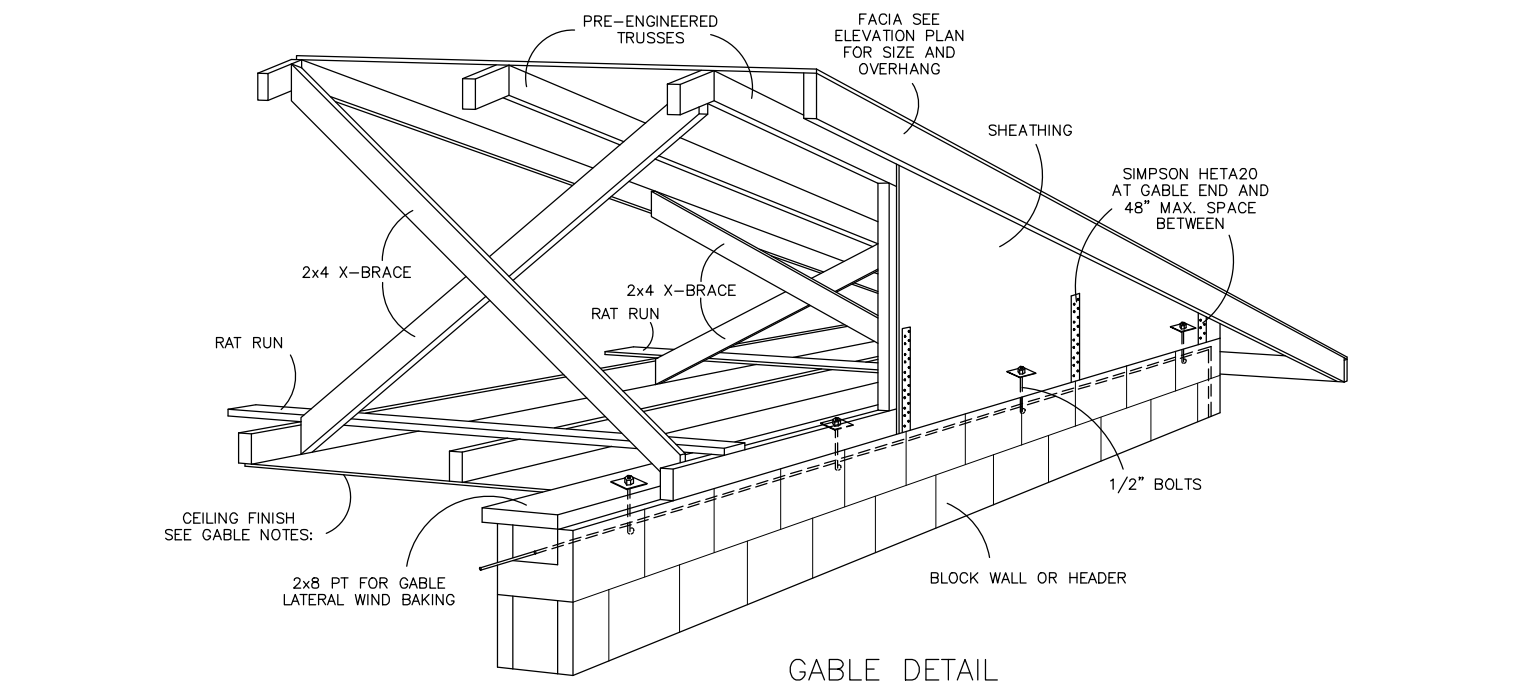
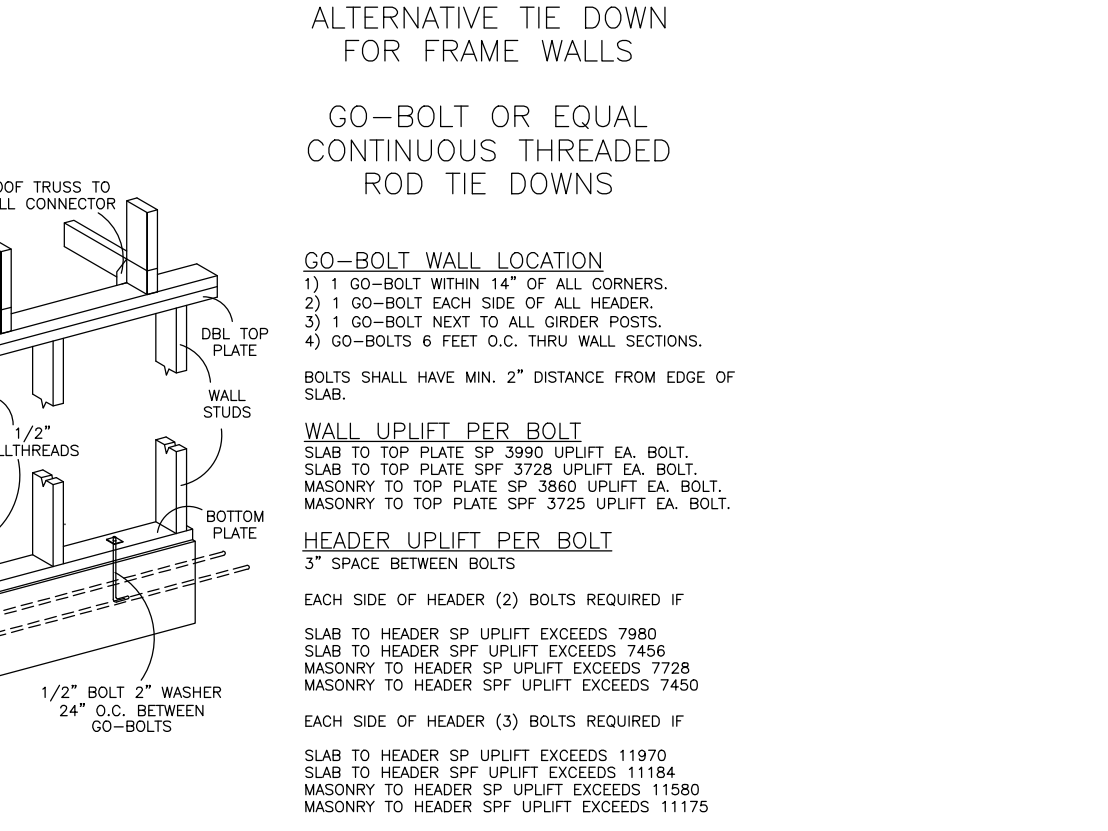
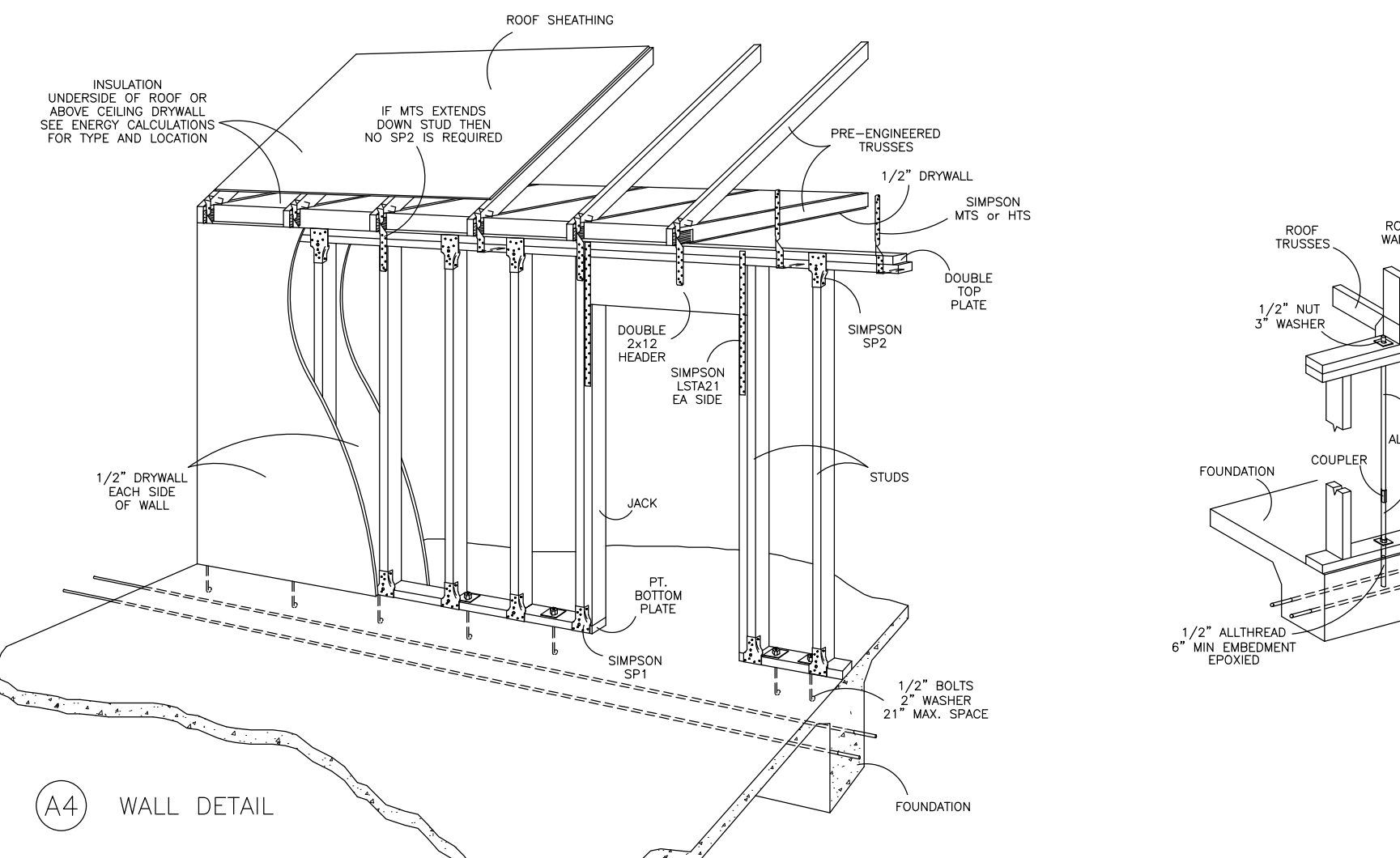
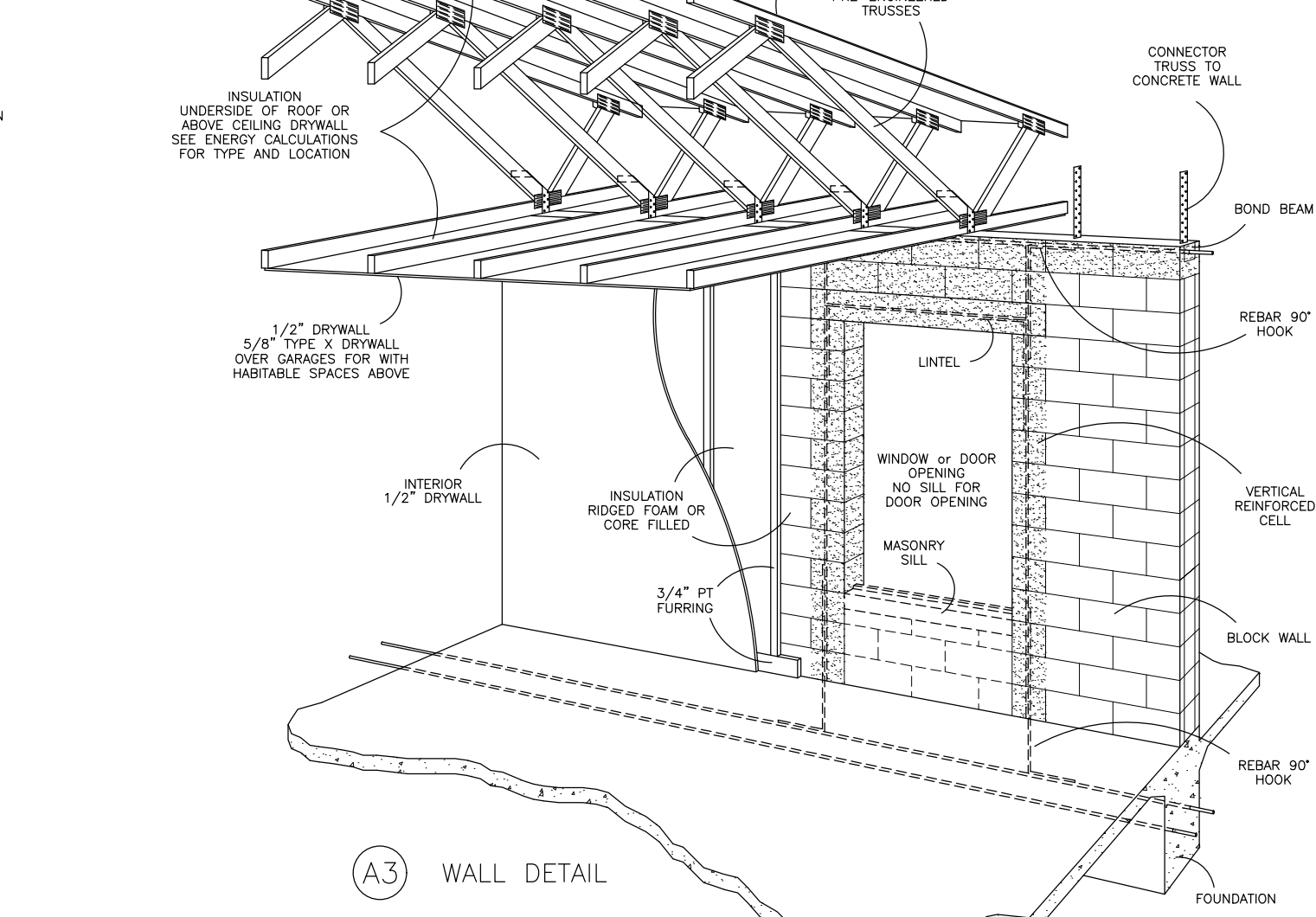
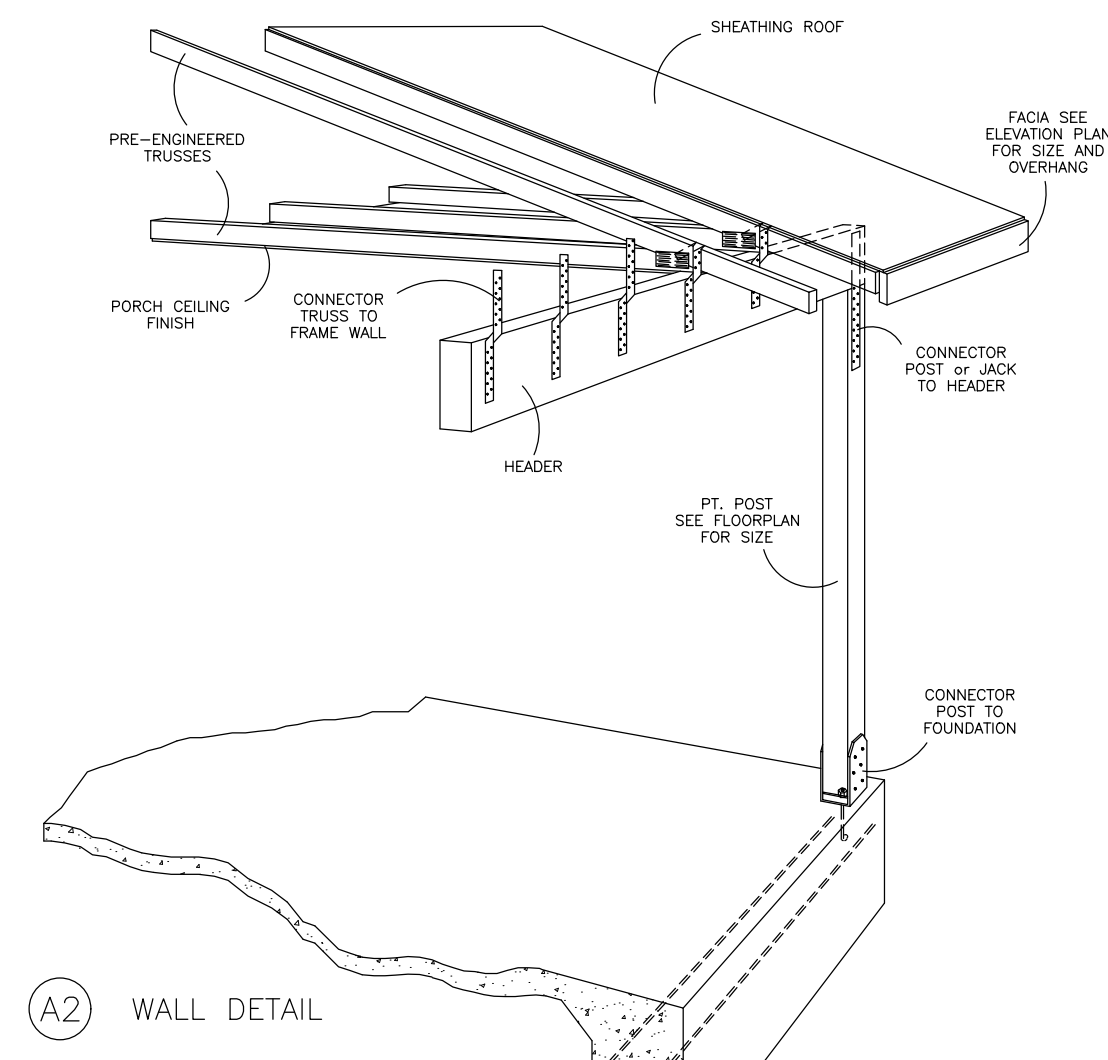
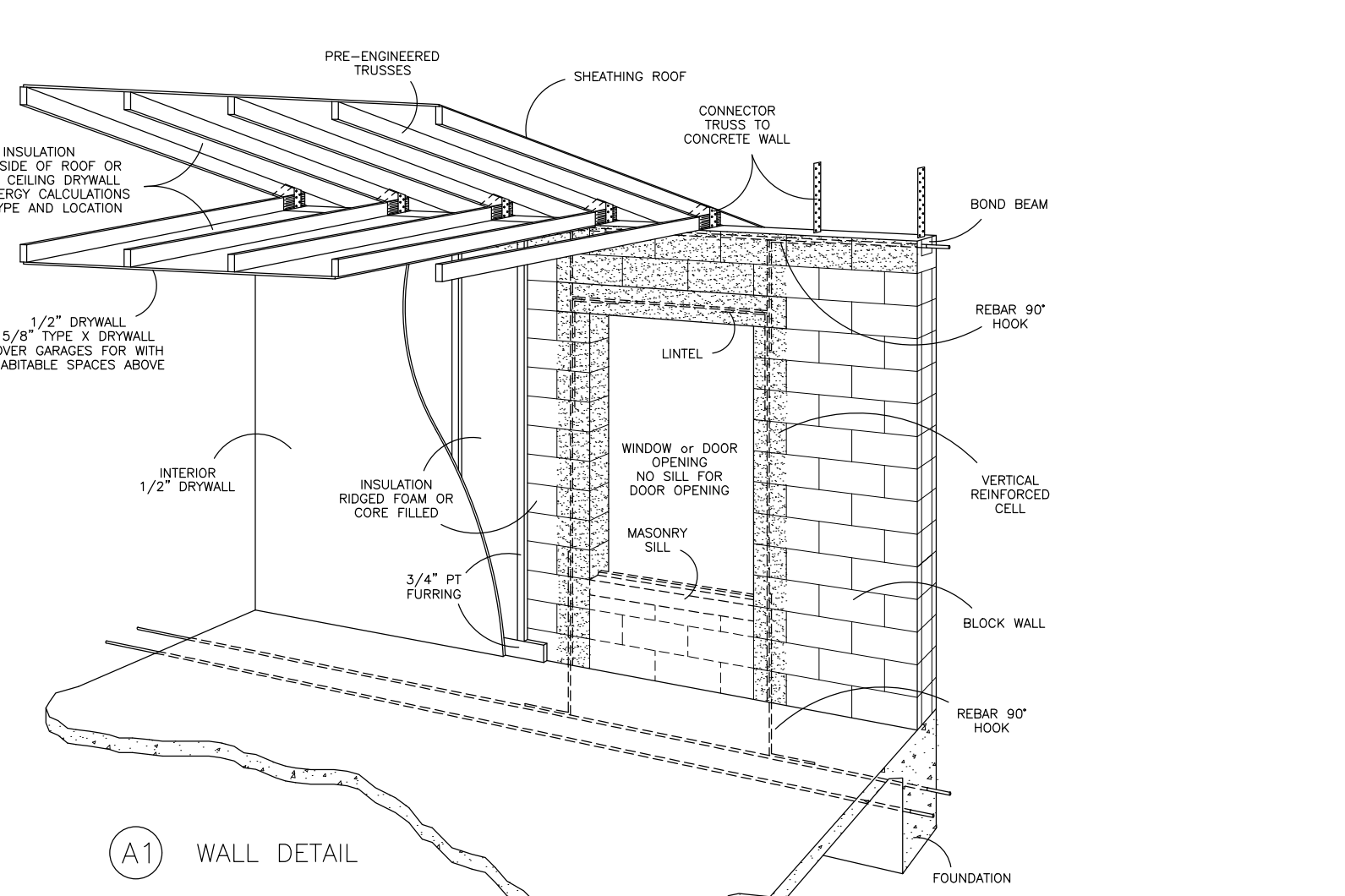
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TRUSS

SHEET

4



WALL SECTION NOTES:

GENERAL
SHEARWALLS ARE ALL EXTERIOR STRUCTURAL WALLS BETWEEN EXTERIOR OPENINGS. ALL CONNECTORS SHOWN IN THESE DRAWINGS CAN BE SUBSTITUTED WITH OTHER SUITABLE CONNECTORS. OPENING SIZE, SHAPE AND LOCATION & WALL HEIGHTS MAY VARY PER PLAN.

FOUNDATION
SEE FOUNDATION PLAN AND FOOTER DETAILS FOR INFORMATION.
BOTH MONOLITHIC AND OR STEELWALL FOUNDATIONS CAN BE USED FOR ALL WALL DETAILS.
ALL FOUNDATION AND WALL REBAR IS TO BE MINIMUM GRADE SCHEDULE 40 KSI.
BOLT & ROD EMBEDMENT & EDGE DIST INTO MAIN SLAB ARE TO BYPASS CURB HEIGHT VOID OF CURB EDGE DIST.

PORCH CEILINGS
FINISH CAN BE MOISTURE RESISTANT DRYWALL, DENZBOARD STUCCO, CONCRETE PANELS, VINYL BEADBOARD, 1x6 T&G OR ANY OTHER STATE APPROVED EXTERIOR CEILING PRODUCTS

FLOORS AND SEALED DECKS
3/4" SHEATHING = T&G GLUED AND NAILED 10d SCREW OR RING SHANK 6" O.C. EDGES 8" O.C. FIELD

EXTERIOR FINISH
SEE ELEVATIONS FOR EXTERIOR FINISH (EXAMPLES: LAP SIDING OR TEXTURED FINISH).
MASONRY WALLS = ADD 1x2 PT FURRING HORIZ. OR VERT. 24" MAX. O.C. FOR LAP OR PANEL SIDING.
FRAME WALLS & GABLES EXTERIOR SIDE ADD 1 LAYER HOUSE WRAP OR 15lb FLT FOR SIDING FINISH.
FRAME WALLS & GABLES EXTERIOR SIDE ADD 2nd LAYER FELT PAPERBACK WIRE LATH W/STUCCO FINISH

ZIP SYSTEM ROOF AND WALL SHEATHING
ZIP SYSTEM STRUCTURAL SHEATHING WITH WATER-RESISTIVE BARRIER DOES NOT REQUIRE HOUSE WRAP OR FELT DRY IN UNLESS MENTIONED IN THE NOTES BELOW. USE 8d RING SHACKED NAILS 6" O.C. EDGES AND 6" O.C. IN FIELD. ZIP SYSTEM TAPE ALL SEAMS.
ZIP ROOF SHEATHING 1/2" THICK PANELS WITH RED SURFACE UP. USE STANDARD FLASHING FOR ROOF VALLEYS AND WHERE ROOF SURFACES MEET GABLE & WALL SURFACES.
SEE ELEVATIONS FOR ROOFING TYPE, EXAMPLES: SHINGLE, METAL OR TILE ROOFING.
SHINGLE ROOF APPLY DIRECTLY TO ZIP ROOF SHEATHING. ADD ONE LAYER 15lb FELT FOR ROOF SLOPE OF LESS THAN 4/12, 4/12 AND GRATER NOT REQUIRED.
METAL ROOF USE 5/8" THICK PANELS, NO ZIP SYSTEM TAPE REQUIRED, ADD ONE LAYER OF MIN 30lb FELT OR GREATER PRODUCT.
ZIP WALL SHEATHING 7/16" THICK PANELS WITH GREEN SURFACE EXTERIOR OUTSIDE.
ALL ROOF FRAMING MATERIAL IS TO BE #2 SYP

MASONRY BLOCK WALLS
CONCRETE = SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
LINTEL = PRE-CAST PRESTRESSED CONCRETE LINTEL W/(1) #5 REBAR HORIZ. SOLID FILLED CONCRETE BLOCK WALL = STANDARD 8" WIDE WALL. HEIGHT AND LENGTH OF EACH BLOCK CAN VARY.
BLOCK COLUMN = SIZE, SHAPE AND HEIGHT MAY PER PLAN CAN VARY. W/(1) #5 REBAR VERTICAL SOLID FILLED CONCRETE. SEE FLOOR PLAN OR STRUCTURAL PLAN FOR NUMBER OF REBAR.
BOND BEAM = HORIZ COURSE U-BLOCK WITH (1)#5 REBAR HORIZONTAL SOLID CONCRETE FILLED REBAR CONTINUOUS OVERLAP MIN 25" CONTINUOUS HORIZ OR VERT.
REBAR 90° HOOK = (1)#5 REBAR 10" OVERLAP REBAR HORIZ. AND 25" OVERLAP REBAR VERTICAL. VERTICAL REINFORCED CELL = (1)#5 REBAR VERTICAL SOLID FILLED CONCRETE

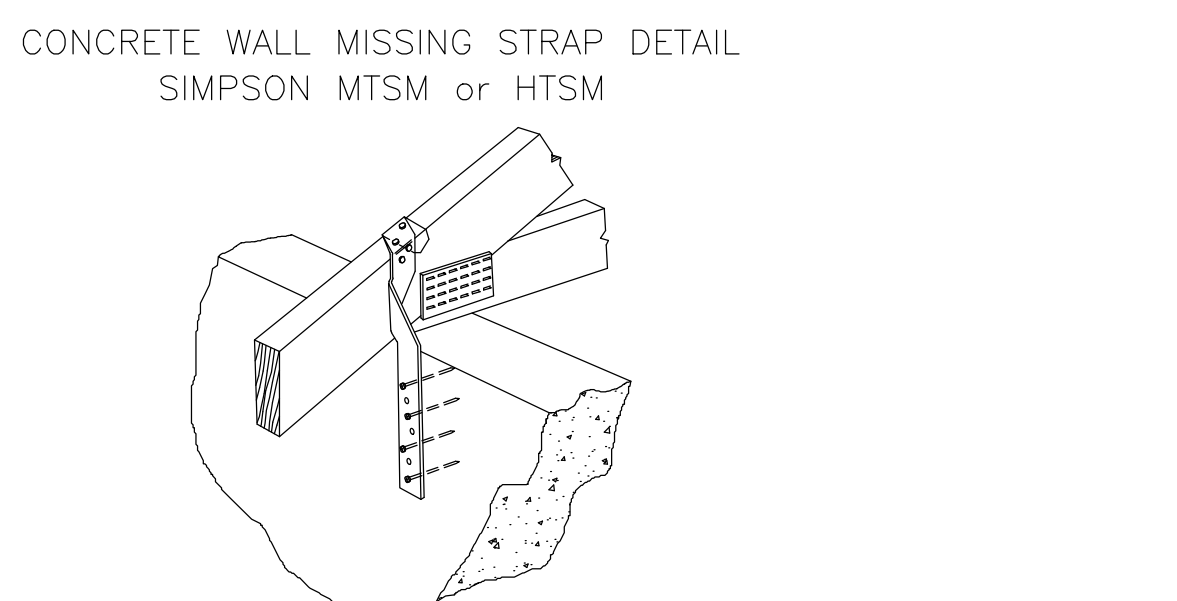
FRAME WALLS
SHEATHING WALL - EXTERIOR SIDE MIN. 7/16" W/8d NAILS AT 6" O.C. EDGES & 8" O.C. IN FIELD. USE PRESSURE TREATED LUMBER OR VAPOR BARRIER WHERE FRAMING IS IN CONTACT WITH CONCRETE.
STUDS = 2x4 MIN. SPF#2 AT 16" O.C. / HEADERS MIN SPF#2 (2) 2x12 UNLESS OTHERWISE NOTED.
TOP PLATE = 2x4 MIN. SPF#2 (2) 2x4 MIN. FOR LOAD BEARING WALLS.
BOTTOM PLATE = 2x4 MIN. SPF#2 PT TO CONCRETE FLOOR & SPF#2 TO WOOD FLOOR

SIMPSON HURRICANE TIE DOWN CONNECTORS
TRUSS TO CONCRETE WALL - HETA16 OR LONGER 8x8 POST TO SLAB - ABU88 (2) 5/8"x7" BOLTS
JACK/POST TO HEADER SPAN 0" TO 48" - (1) LST24 60 SIDE
STUD TO TOP PLATE - SP2 OR SP4,6,8 JACK/POST TO HEADER SPAN 49" TO 73" - (2) LST24 60 SIDE
TRUSS TO BOTTOM PLATE - SP1 OR SP4,6,8 JACK/POST TO HEADER SPAN 73" TO 97" - (2) LST30 60 SIDE
BOTTOM PLATE TO SLAB - 1/2" BOLT & 2" WASHER 21" O.C. 6" EMBEDMENT EPOXIED OR 4x4 POST TO SLAB - ABU44 5/8"x7" BOLT (3) HEADER JACKS TO SLAB - HTT20B 1/2"x6" BOLT
6x6 POST TO SLAB - ABU66 5/8"x7" BOLT (4) HEADER JACKS TO SLAB - HTT4 5/8"x7" BOLT

OTHER CONNECTORS MAY BE CALLED OUT ON FLOOR, STRUCTURAL OR TRUSS SHEETS
OTHER SAME/SIMILAR USE TYPE CONNECTORS OF EQUAL OR GREATER STRENGTHS ARE ACCEPTABLE SUBSTITUTES

GABLE NOTES:

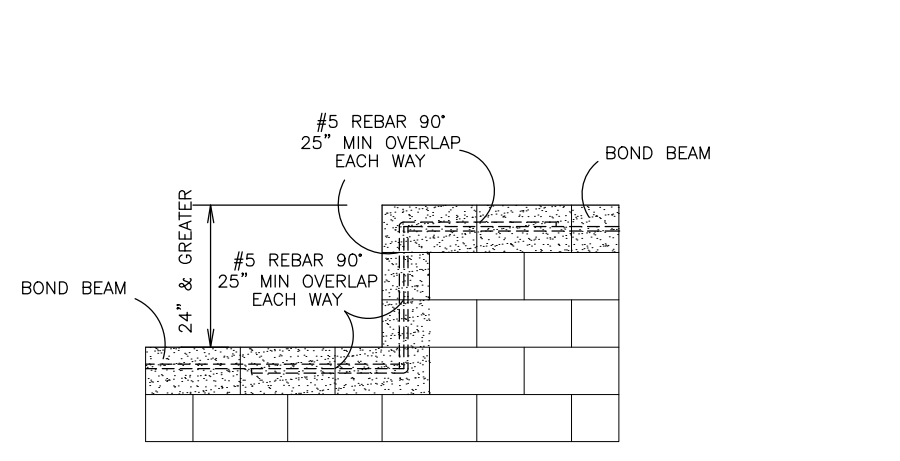
THE TRUSSES SHOWN ARE SYMBOLIC. ACTUAL TRUSS DESIGN MAY VARY.
SEE WALL SECTION NOTES FOR ROOF, SHEATHING THICKNESS & NAILING.
GABLE 7/16" SHEATHING NAILED W/8d AT 6" O.C. ON EDGES & 8" O.C. IN FIELD.
STORAGE 7/16" MIN. SHEATHING NAILED W/8d AT 6" O.C. ON EDGES & 8" O.C. IN FIELD.
1/2" BOLTS 6" EMBEDMENT WITH 2" WASHER AT GABLE ENDS & 48" O.C. BETWEEN X-BRACE CENTER, FOR GABLES LONGER THAN 20' X-BRACES EACH SIDE 10' MAX. SPACED RAT RUN 2x4 #2 SPF



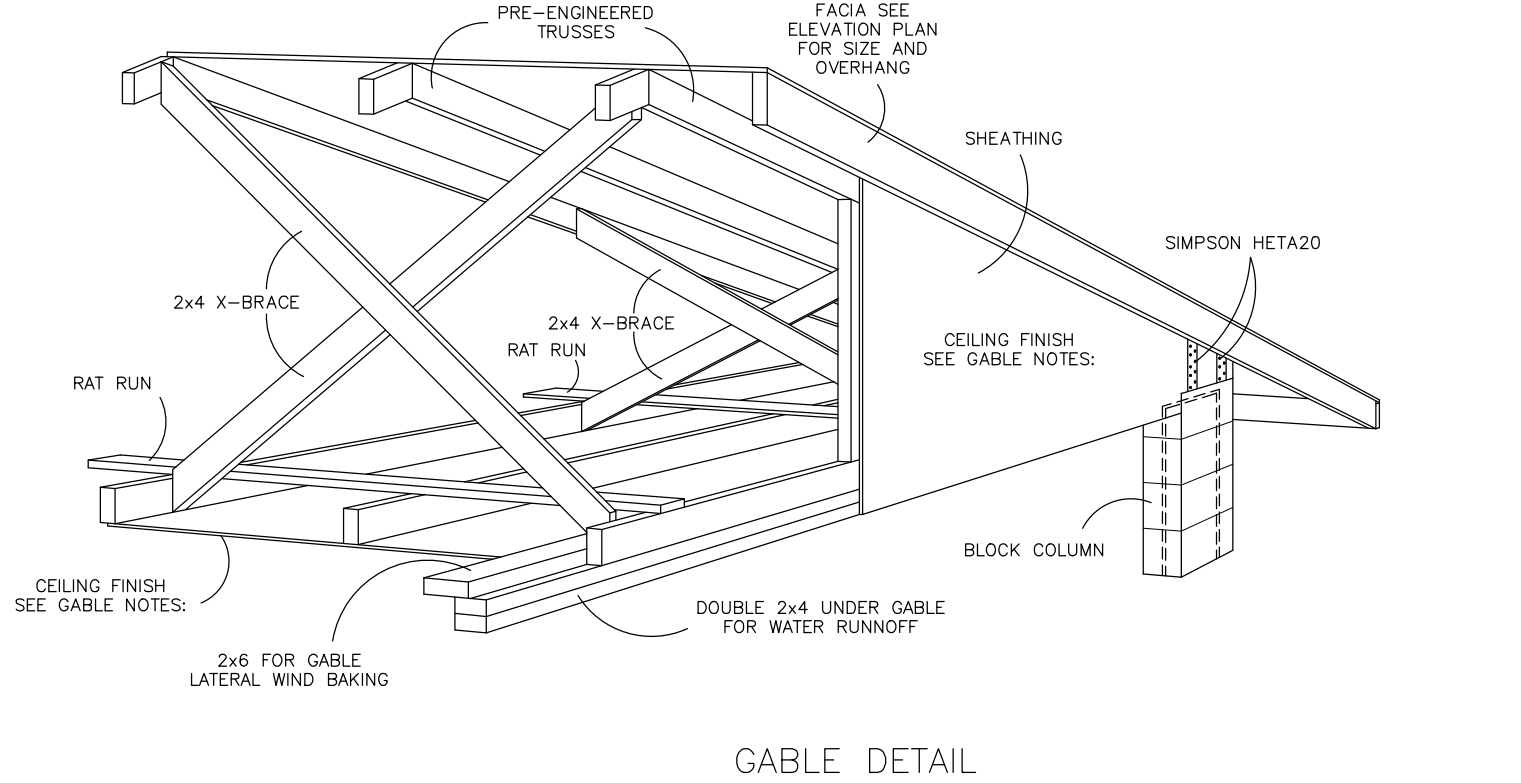
MODEL NO	ANCHOR BOLTS	FASTENERS	UPLIFT
MTSM16	(4)1/4"x2 1/4" TAPCONCS	(7)10dx1 1/2"	750
HTSM16	(4)1/4"x2 1/4" TAPCONCS	(8)10dx1 1/2"	1020

LINTEL SCHEDULE - 8" PRECAST LINTEL CROSS SECTIONS
SEE ELEVATIONS FOR LINTEL HEIGHTS / SEE FLOOR PLAN AND OR STRUCTURAL PLAN FOR LINTEL SPANS

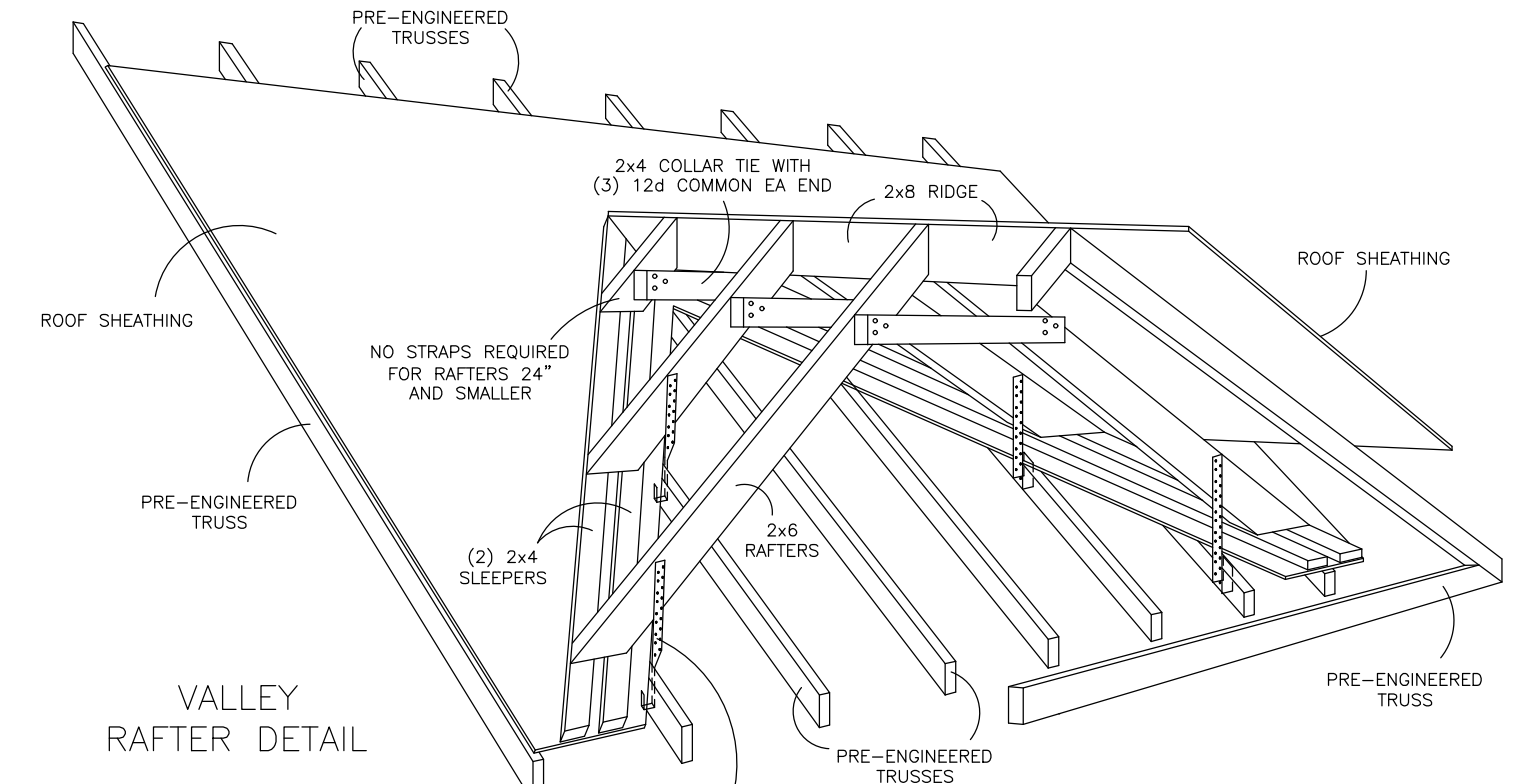
LINTEL LENGTH	L-8		L-12		L-16		L-20		L-24		L-28		L-32 AND ALL HIGHER	
	UP/LIFT	LATERAL GRANTY	UP/LIFT	LATERAL GRANTY	UP/LIFT	LATERAL GRANTY	UP/LIFT	LATERAL GRANTY	UP/LIFT	LATERAL GRANTY	UP/LIFT	LATERAL GRANTY	UP/LIFT	LATERAL GRANTY
2'-0"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-2"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-4"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-6"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-8"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-10"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-12"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-14"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-16"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-18"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-20"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-22"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642
2'-24"	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642	1020	1642



MASONRY WALL BOND BEAM HEIGHT CHANGE 24" & GREATER



GABLE DETAIL



VALLEY RAFTER DETAIL

Stanley P. Hoelle, Architect
Florida Reg. No. AR9033
1114 Mistleton Drive,
Daytona Bch, FL 32117
386-295-9750

KEYSTONE
1339 W. Granada Blvd.
386-672-6101
KEYSTONEHOMEFL.COM

JOB NUMBER
2899
SUNSTATE
PLAN DATE
5/21/19

"PLANS CONFORM TO"
2017 FLORIDA BUILDING CODE
2014 NATIONAL ELEC CODE
2015 WCM DESIGN CRITERIA
2014 ASCE24 FLOOD DESIGN
STRUCTURALLY ADEQUATE FOR
ALTERATION LEVEL N/A
RISK CATEGORY: 2
WIND VELOCITY (MPH): 140
EXPOSURE CATEGORY: C
INTERNAL PRESSURE: .18
CONSTRUCTION TYPE: VB

LOT:
2148 S FLAGLER BEACH
FLAGLER COUNTY, FLA.

DETAILS
SHEET
5